

14 DAVID STREET



16 DAVID STREET



18 DAVID STREET



# 1 SITE PLAN & SITE ANALYSIS

SCALE: 1:200 @ A3

1. THIS DRAWING IS THE PROPERTY OF 'ASPIRE DESIGN & ENGINEERING'. IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR TAKE ADVANTAGE OF THE DRAWINGS WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.  
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S, SERVICE ENGINEER'S AND RELEVANT SPECIFICATIONS.

LGA: Canterbury Bankstown Council

DESCRIPTION:  
CHANGE OF USE

CLIENT:



ASPIRE DESIGN & ENGINEERING  
ARCHITECTURAL | CONSULTANT | ENGINEERING  
329/462 Chapel Rd,  
Bankstown 2200

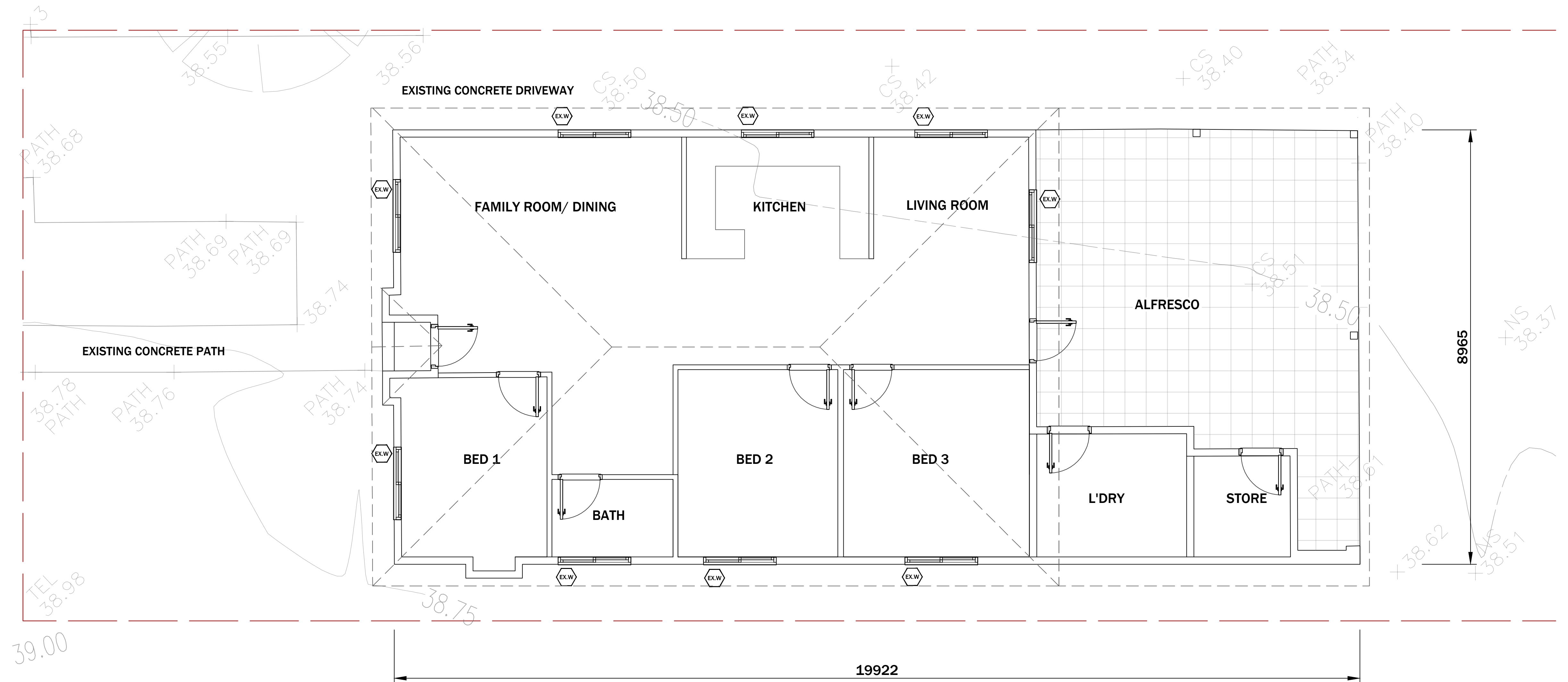
REV:	DESCRIPTION:	DATE:
A	CDC SUBMISSION	11/07/23

SUBJECT SITE:  
16 David Street, GREENACRE

DRAWING TITLE:  
SITE PLAN

SCALE/ SHEET SIZE: 1:200 A3 PREPARED: I.M. SHEET NO. S-01





1

EXISTING GROUND FLOOR PLAN (PRIMARY DWELLING)

SCALE: 1:100 @ A3

1. THIS DRAWING IS THE PROPERTY OF 'ASPIRE DESIGN & ENGINEERING'. IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR TAKE ADVANTAGE OF THE DRAWINGS WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.  
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S, SERVICE ENGINEER'S AND RELEVANT SPECIFICATIONS.

LGA: Canterbury Bankstown Council

DESCRIPTION:  
CHANGE OF USE

CLIENT:



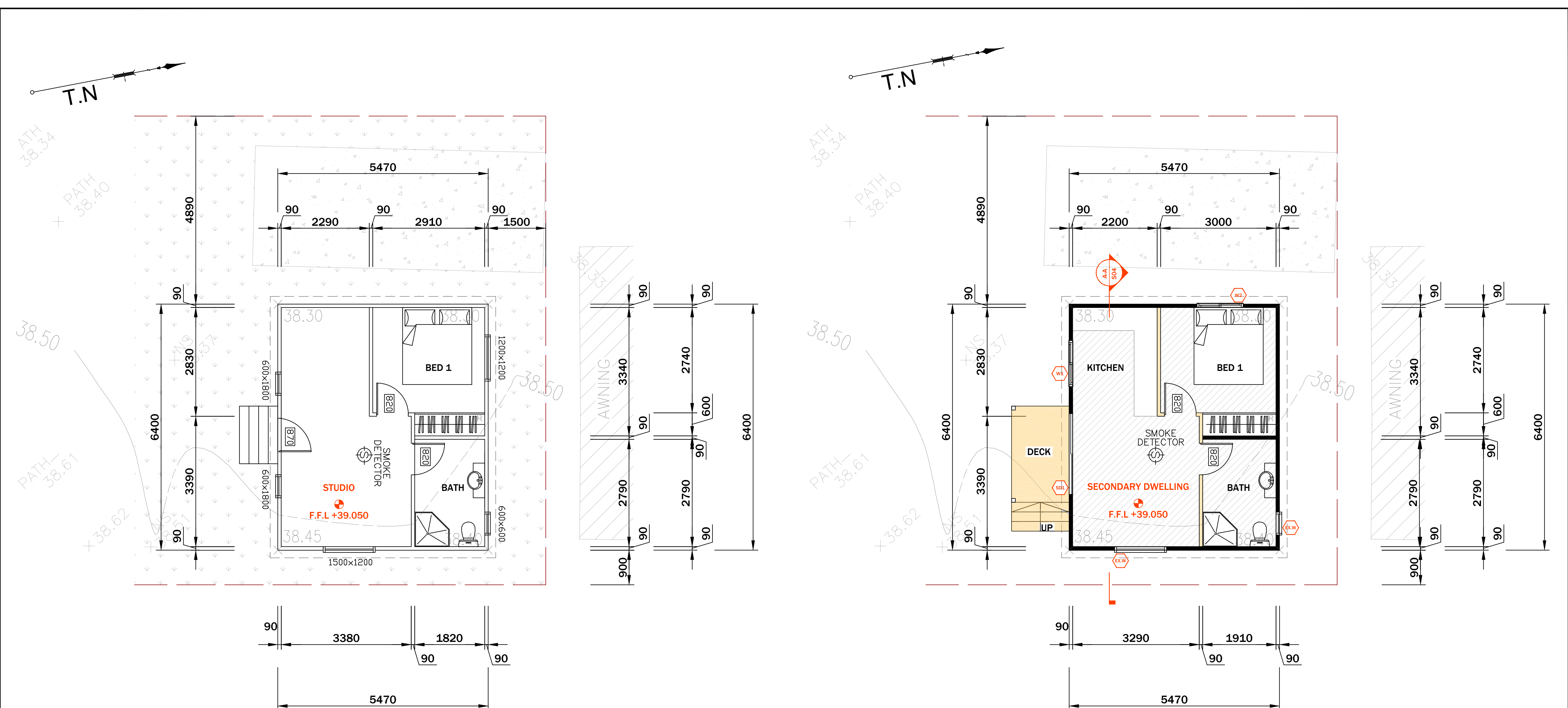
ASPIRE DESIGN & ENGINEERING  
ARCHITECTURAL | CONSULTANT | ENGINEERING  
329/462 Chapel Rd,  
Bankstown 2200

REV:	DESCRIPTION:	DATE:
A	DA SUBMISSION	11/07/23

SUBJECT SITE:  
16 David Street, GREENACRE

DRAWING TITLE:  
Existing Floor Plan (Primary Dwelling)

SCALE/ SHEET SIZE	1:100	A3	PREPARED: I.M.	SHEET NO. S-02
----------------------	-------	----	-------------------	-------------------



# 1 EXISTING FLOOR PLAN

SCALE: 1:100 @ A3

## Maximum floor area for principal and secondary dwelling

3.3 Council must not consent to development for the purpose of secondary dwellings unless:

- (a) the total floor area of the principal dwelling and the secondary dwelling is no more than the maximum floor area allowed for a dwelling house on the land under an environmental planning instrument; and
- (b) the total floor area of the secondary dwelling is no more than 60m2 or, if a greater floor area is permitted in respect of a secondary dwelling on the land under an environmental planning instrument, that greater floor area.

FLOOR AREA OF SECONDARY DWELLING - 33sqm

MAX. FSR ACCORDING TO BANKSTOWN LEP 2015 - LAND MAPS IS 0.5:1 [I.E. 243.45 sqm]

PROPOSED FSR - 153 SQM [0.457:1]

# 1 PROPOSED FLOOR PLAN

SCALE: 1:100 @ A3

PROPOSED WINDOW SCHEDULE		
WINDOW #	HEIGHT	WIDTH
W 1	270	1085
W 2	570	595

PROPOSED DOOR SCHEDULE		
SLIDING DOOR		
DOOR #	HEIGHT	WIDTH
S D 1	2100	2100

## LEGEND

- PROPOSED WALLS/ FLOOR AREA
- EXISTING WALLS
- EXISTING FLOOR AREA

1. THIS DRAWING IS THE PROPERTY OF 'ASPIRE DESIGN & ENGINEERING'. IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR TAKE ADVANTAGE OF THE DRAWINGS WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.  
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S, SERVICE ENGINEER'S AND RELEVANT SPECIFICATIONS.

LGA: Canterbury Bankstown Council

DESCRIPTION: CHANGE OF USE

CLIENT:



ASPIRE DESIGN & ENGINEERING  
ARCHITECTURAL | CONSULTANT | ENGINEERING  
329/462 Chapel Rd,  
Bankstown 2200

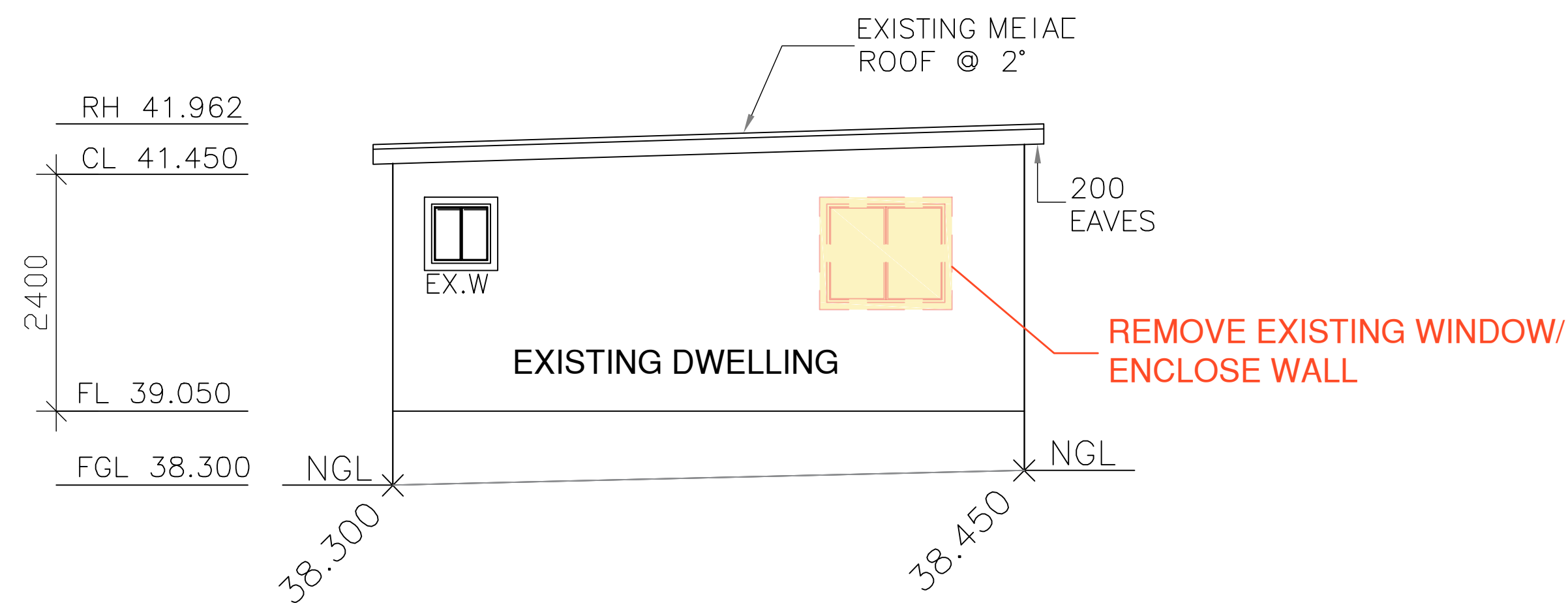
REV:	DESCRIPTION:	DATE:
A	DA SUBMISSION	11/07/23

SUBJECT SITE: 16 David Street, GREENACRE

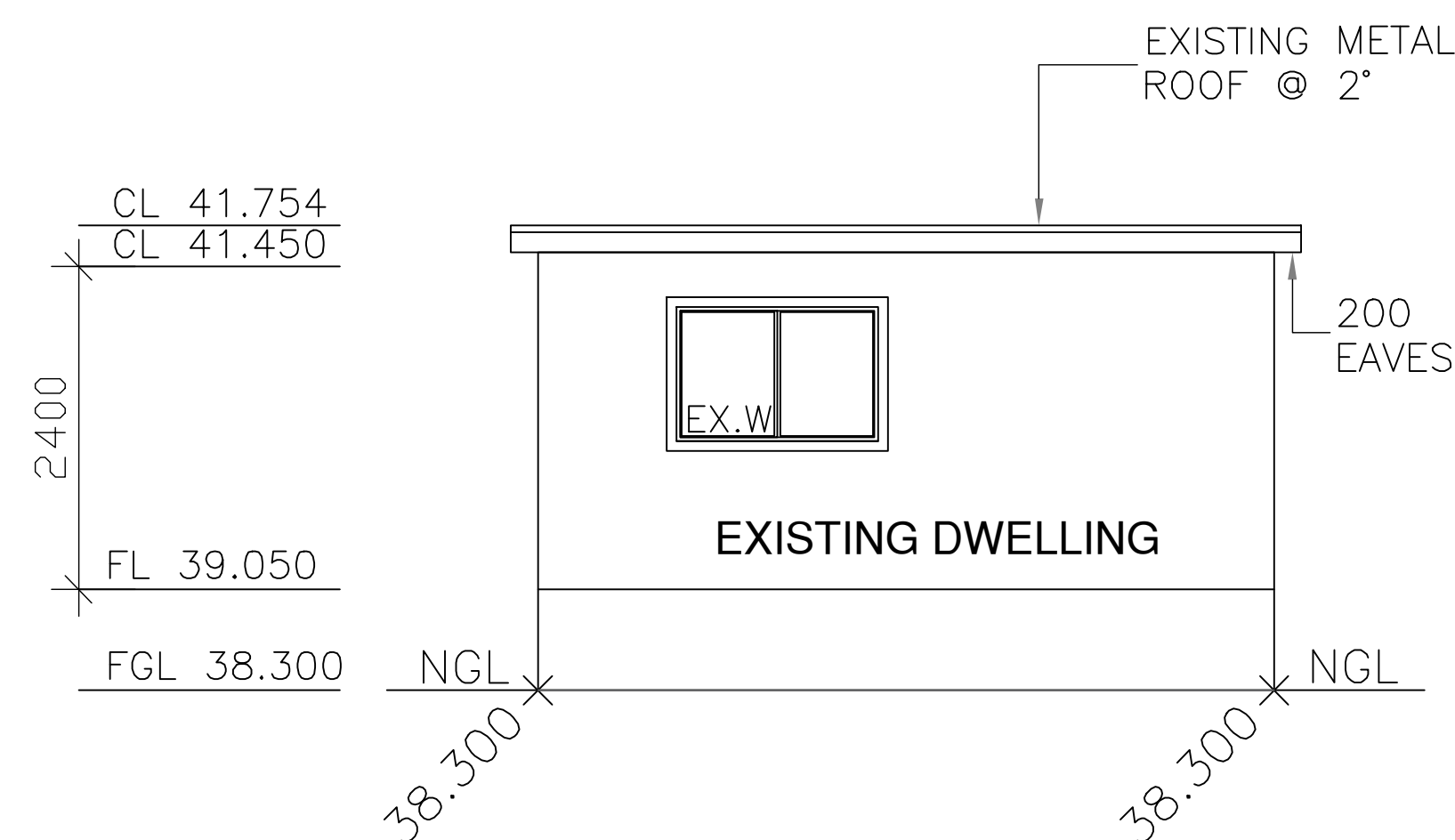
DRAWING TITLE: Proposed Floor Plan

SCALE/ SHEET SIZE: 1:100 A3 PREPARED: I.M. SHEET NO.: S-03

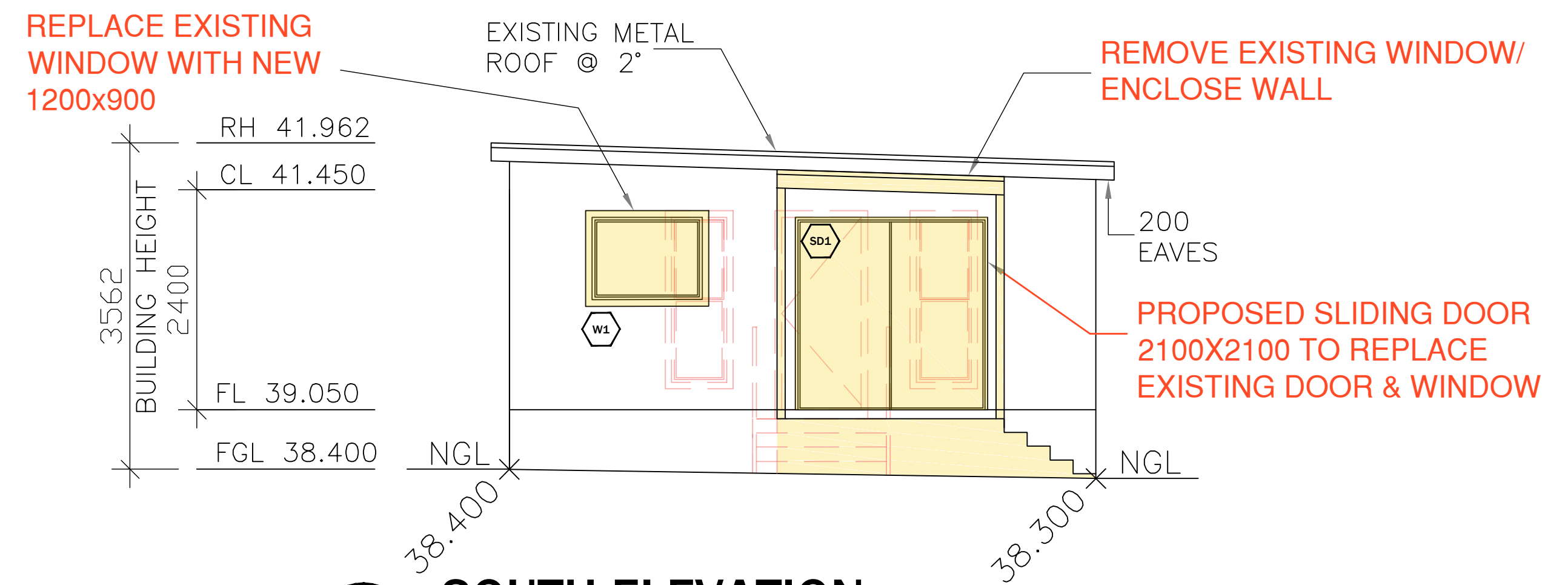




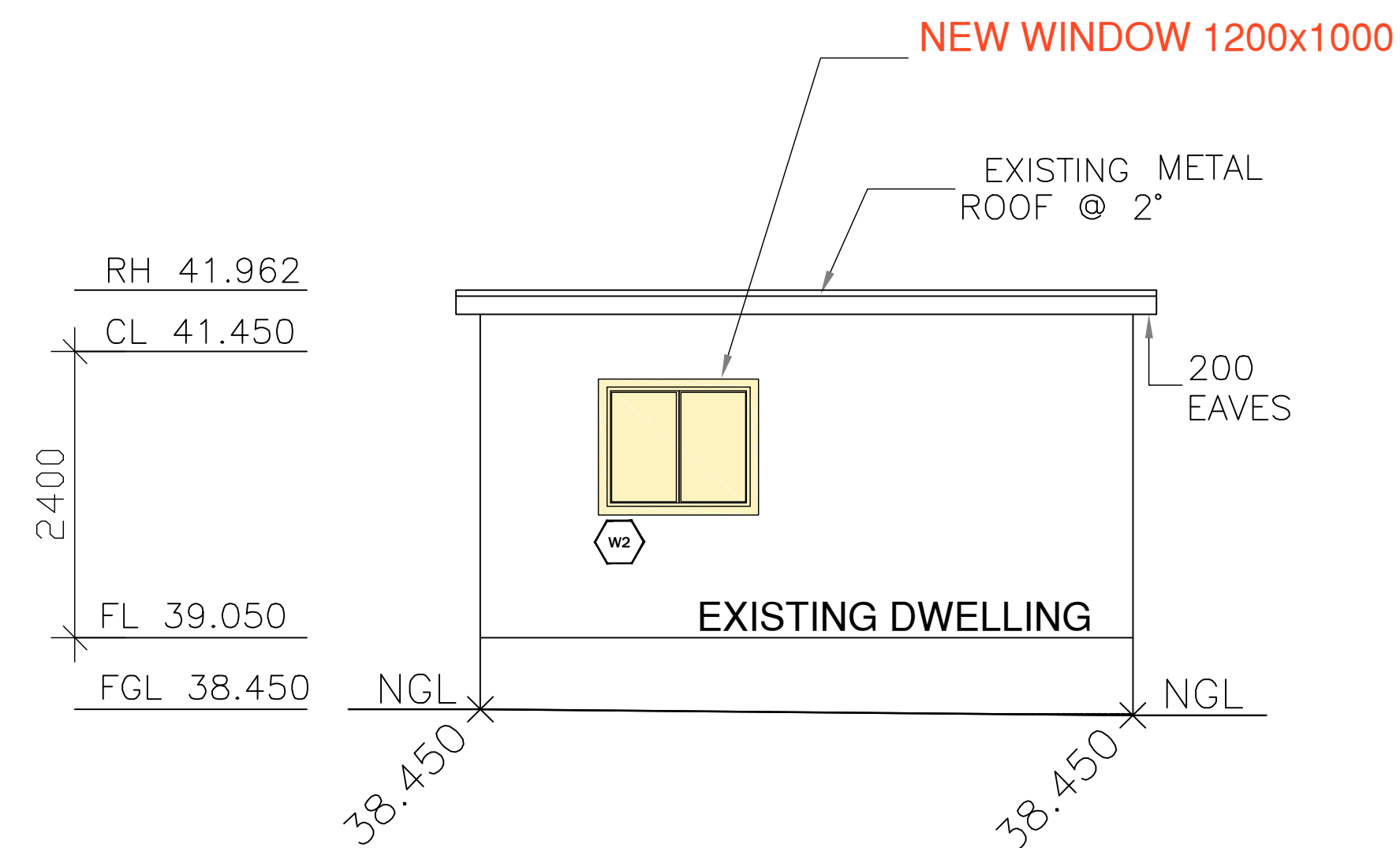
**1 NORTH ELEVATION**  
SCALE: 1:100 @ A3



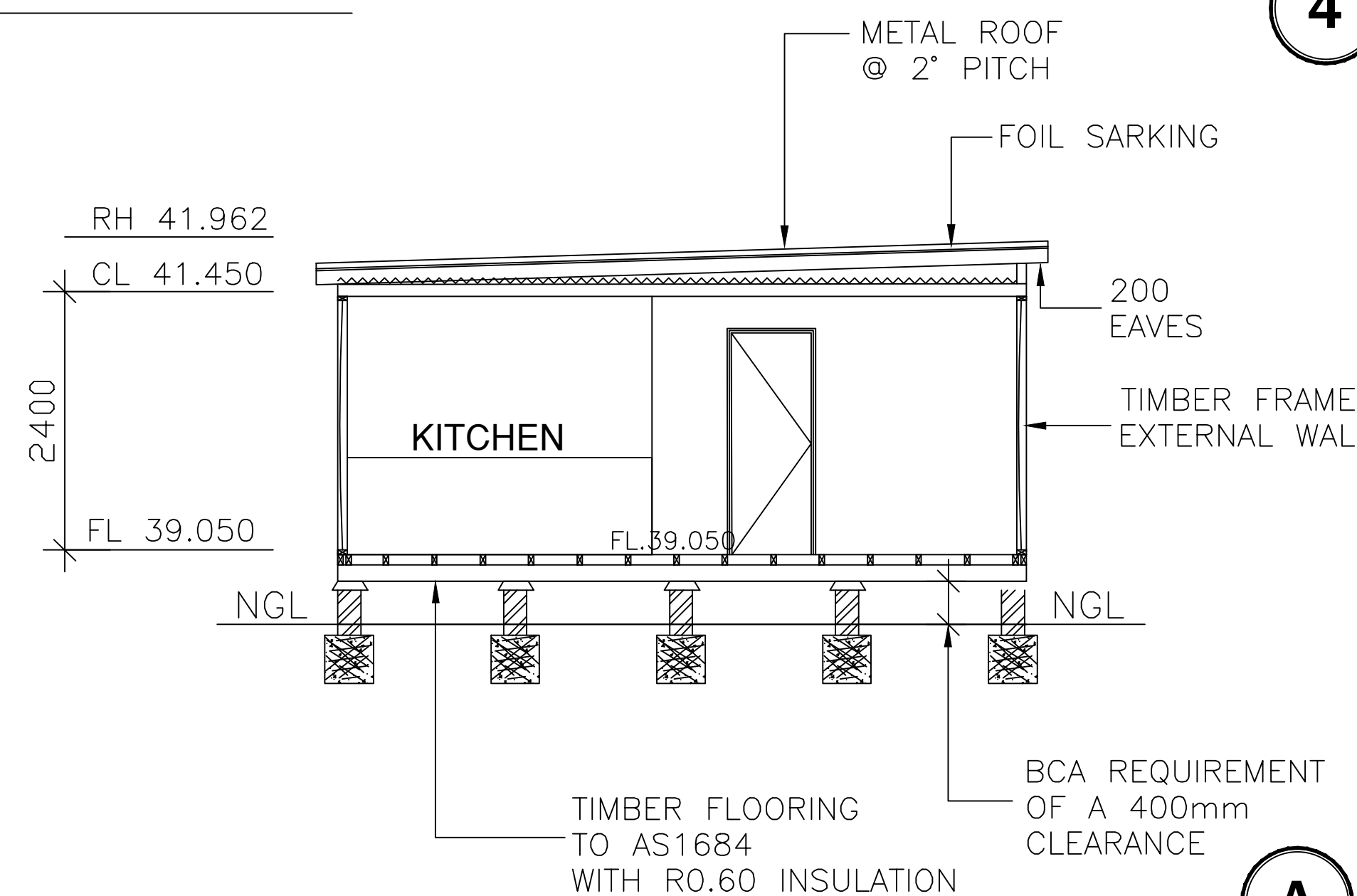
**2 EAST ELEVATION**  
SCALE: 1:100 @ A3



**3 SOUTH ELEVATION**  
SCALE: 1:100 @ A3



**4 WEST ELEVATION**  
SCALE: 1:100 @ A3



**A SECTION A-A**  
SCALE: 1:100 @ A3

1. THIS DRAWING IS THE PROPERTY OF 'ASPIRE DESIGN & ENGINEERING'. IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR TAKE ADVANTAGE OF THE DRAWINGS WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.  
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S, SERVICE ENGINEER'S AND RELEVANT SPECIFICATIONS.

LGA: **Canterbury Bankstown Council**

DESCRIPTION: **CHANGE OF USE**

CLIENT:



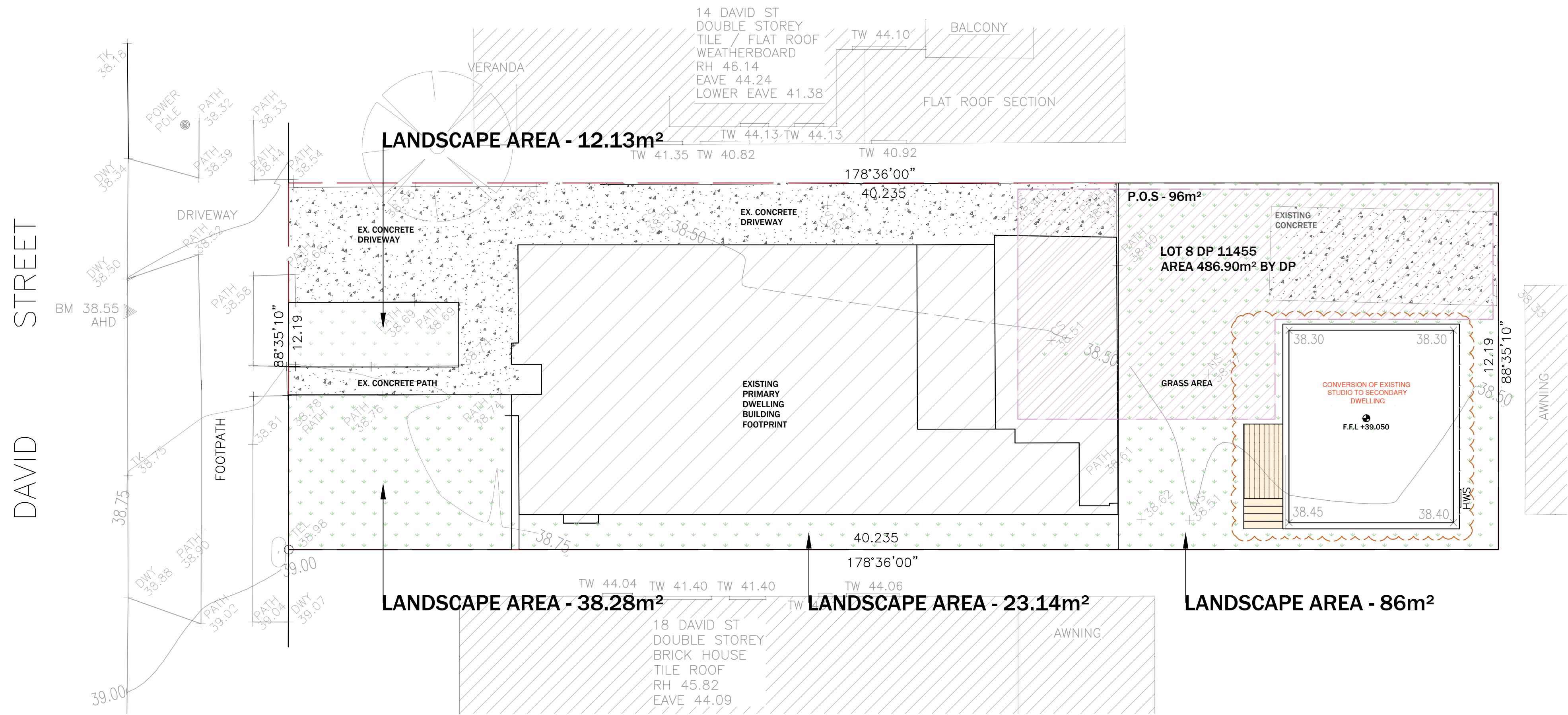
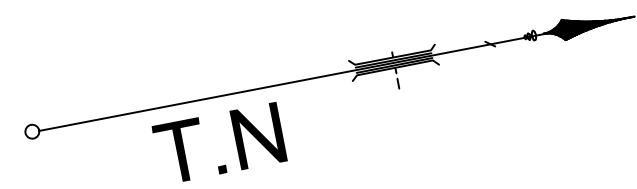
**ASPIRE DESIGN & ENGINEERING**  
ARCHITECTURAL | CONSULTANT | ENGINEERING  
329/462 Chapel Rd,  
Bankstown 2200

REV:	DESCRIPTION:	DATE:
A	CDC SUBMISSION	11/07/23

SUBJECT SITE: **16 David Street, GREENACRE**

DRAWING TITLE: **Elevations & Section**

SCALE/ SHEET SIZE: **1:100** A3 PREPARED: **I.M.** SHEET NO.: **S-04**



#### Private open space

**3.13 Secondary dwellings must not result in the principal dwelling on the allotment having less than the required landscaped area and private open space.**

#### Landscaping

**3.28 Development must retain and protect any significant trees on the allotment and adjoining allotments. To achieve this clause, the development may require a design alteration or a reduction in the size of the secondary dwelling.**

EXISTING PRIVATE OPEN SPACE AREA - 96sqm

MIN. WIDTH OF P.O.S - 5M WIDE

#### GENERAL NOTES:

- 1/. ALL AREAS WITHIN A DEVELOPMENT NOT OCCUPIED BY BUILDING, DRIVEWAY OR SERVICES AREAS THE LANDSCAPED AREA ALSO INCLUDES ANY BALCONY PLANTERS OR LANDSCAPING OVER CONCRETE SLABS.
- 2/.ALL EXISTING TREES ON THE SITE, ON THE NATURAL STRIP, AND CLOSE TO BOUNDARIES ON NEIGHBORING PROPERTIES SHOULD BE ACCURATELY PLOTTED ON PLANS PRESERVED IN ACCORDANCE WITH COUNCIL'S TREE PRESERVATION ORDER.
- 3/.PROTECTIVE FENCING IS TO REMAIN IN PLACE UNTIL COMPLETION OF ALL BUILDING & HARD LANDSCAPE CONSTRUCTION.
- 4/.CONCRETE PAVING SHOULD BE 20MPA 100MM THICK FOR DRIVEWAYS, & 15MPA 75MM THICK FOR FOOTPATHS,PROVIDED ALL PAVING CONTROL JOINTS AT MAXIMUM 1800MM CENTRES.
- 5/. PAVING LEVELS SHALL BE A MAXIMUM 225MM BELOW SLAB FLOOR LEVELS TO 100MM MINIMUM IN LOCALIZED ARE SUCH AS DOORWAYS, & PROVIDED WITH 1:20 FALLS AWAY FROM THE BUILDING OTHER PAVING SHOULD BE USED WITH LENDING AUTHORITY APPROVAL.
- 6/.PROVIDED METAL, TIMBER OR MASONRY FENCING & GATES TO FRONT BOUNDARY INKEEPING WITH THAT ERECTED IN THE LOCALITY, PROVIDED SIDE & REAR BOUNDARY FENCING TO ENSURE PRIVACY & SAFETY.
- 7/.PROVIDED EXTERNAL LIGHTING FROM THE DWELLING TO ILLUMINATE THE ENTRANCE PATH & FRONT DOOR, REAR DOOR. PROVIDED CLOTHES DRYING LINE WITH PAVING FROM LAUNDRY TO CLOTHES-LINE.
- 8/.PROVIDE A TAP STAND & GULLY TO THE FRONT & REAR OF THE DWELLING WHERE REQUIRED FIXED TO THE EXTERNAL WALL.
- 9/. ALL LANDSCAPE WORKS ARE TO INCLUDE PROVISION FOR ADEQUATE DRAINAGE INCLUDING COLLECTION OR DISPERSAL OF STORM WATER RUN-OFF, PREVENTION OF PONDING OF WATER ON PAVEMENTS OR DISCHARGE OF RUN-OFF ONTO ADJOINING PROPERTY OR PUBLIC AREAS, WHERE POSSIBLE WATER SHOULD DRAIN TO PLANTING BEDS & LAWN AREAS AS A BASIC WATER CONSERVING STRATEGY.
- 10/.ALL LANDSCAPE CONSTRUCTION BE CARRIED OUT BY A QUALIFIED LANDSCAPE CONTRACTOR TO ENSURE THAT A SATISFACTORY STANDARD OF LANDSCAPING IS ACHIEVED.

#### LEGEND

- PROPOSED ALTERATION/ ADDITIONS
- LANDSCAPE AREA
- CONCRETE AREA
- PRIVATE OPEN SPACE

1

## LANDSCAPE PLAN

SCALE: 1:200 @ A3

1. THIS DRAWING IS THE PROPERTY OF 'ASPIRE DESIGN & ENGINEERING'. IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR TAKE ADVANTAGE OF THE DRAWINGS WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.  
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S, SERVICE ENGINEER'S AND RELEVANT SPECIFICATIONS.

LGA: Canterbury Bankstown Council

DESCRIPTION:  
CHANGE OF USE

CLIENT:



ASPIRE DESIGN & ENGINEERING  
ARCHITECTURAL |CONSULTANT| ENGINEERING  
329/462 Chapel Rd,  
Bankstown 2200

REV:	DESCRIPTION:	DATE:
A	CDC SUBMISSION	11/07/23

SUBJECT SITE:  
16 David Street, GREENACRE

DRAWING TITLE:  
Landscape Plan

SCALE/ SHEET SIZE: 1:200 A3 PREPARED: I.M. SHEET NO. S-05